

Solomons Town Center Architectural Design Manual

Guidelines for Architectural Review Applicants



Calvert County, Maryland
Adopted by the Calvert County Planning Commission



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Special thanks to the citizens and business owners of Solomons Town Center for their assistance and participation in the development the Solomons Town Center Master Plan and Zoning Ordinance and the subsequent development of this Design Manual. Special recognition is given to Lauren Merrell in researching and preparing this Design Manual.

RESOLUTION OF THE CALVERT COUNTY PLANNING COMMISSION
ADOPTING THE SOLOMONS TOWN CENTER
ARCHITECTURAL DESIGN MANUAL

WHEREAS, it is the duty of the Calvert County Planning Commission, pursuant to Article 66B of the Annotated Code of Maryland, to make and approve a Comprehensive Plan to guide the physical development of the County; and

WHEREAS, the Solomons Town Center Master Plan, adopted on August 25, 2009, includes objectives and desired characteristics for future development, recommendations to guide land development and the provision of public facilities and services throughout the Town Center, and recommendations, guidelines and standards to effect implementation of the plan; and

WHEREAS, the Solomons Town Center Zoning Ordinance was adopted, effective September 22, 2009, “to regulate land uses as part of the effort to promote the health, safety and general welfare of Calvert County residents” and which includes an Appearance Code, the purpose of which is “to protect, as new buildings are built and existing buildings are renovated, the continuity and architectural heritage of Solomons in a way which reinforces the existing fabric of the town”; and

WHEREAS, the Appearance Code specifies that the Planning Commission shall maintain an Architectural Design Manual, which shall include guidelines to be used in conjunction with the Appearance Code Criteria of the Solomons Zoning Ordinance and examples of structures and elements, such as outdoor lighting fixtures, fences, street furniture, and trash enclosures, the design of which has been pre-approved by the Planning Commission after recommendation by the Solomons Architectural Review Committee; and

WHEREAS, the Solomons Town Center Zoning Ordinance grants to the Planning Commission the ability to delegate to its Planning Commission Administrator the authority to approve new elements or structures to be added to the Architectural Design Manual that are consistent with the Master Plan and Zoning Ordinance, and comply with the recommendations of the Architectural Review Committee; and

WHEREAS, following extensive research, numerous meetings with the Solomons Architectural Review Committee and the citizenry of Solomons, and due consideration, the Planning Commission proposed adoption of the Solomons Town Center Architectural Design Manual; and

WHEREAS, on April 21, 2010, a public hearing was held by the Planning Commission to discuss, consider and receive public comment on the proposed Solomons Town Center Architectural Design Manual; and

WHEREAS, the record of said hearing was held open until May 4, 2010, for the reception of additional public comment, at which time the record was closed; and

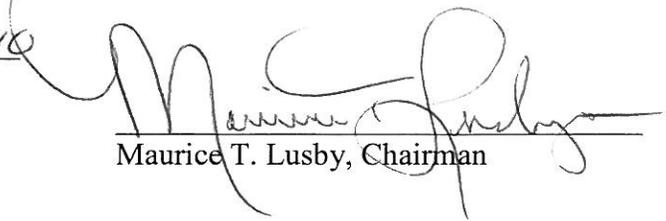
WHEREAS, the Planning Commission further considered the proposed Architectural Design Manual in a public session on May 19, 2010, and considered the presentations of staff and the various public comments received; and

WHEREAS, the Planning Commission specifically finds that the proposed Architectural Design Manual is consistent with the provisions of the Solomons Town Center Master Plan and Zoning Ordinance;

NOW, THEREFORE, BE IT RESOLVED, by the Calvert County Planning Commission, that the proposed Solomons Town Center Architectural Design Manual attached hereto BE, AND IS HEREBY, adopted.

Dated:

8-2-2010


Maurice T. Lusby, Chairman

Attest:


Carolyn V. Sunderland, AICP, Acting Secretary

**SOLOMONS TOWN CENTER
ARCHITECTURAL DESIGN MANUAL
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PURPOSE OF THE ARCHITECTURAL DESIGN MANUAL

The purpose of the Solomons Architectural Design Manual is to protect the continuity and architectural heritage of Solomons in a way that reinforces the existing fabric of the town. The Design Manual strives to:

- Ensure harmonious blending of old and new,
- Enhance the livability of Solomons,
- Provide diverse settings for community interaction,
- Promote a dynamic social and civic experience, and
- Preserve key character defining features of Solomons.



During the development of the initial Solomons Master Plan, the community expressed concern for the preservation of the unique maritime character of the community. The Appearance Code was adopted as part of the Solomons Master Plan and Zoning Ordinance in 1986. The Design Manual is to be used in conjunction with the Appearance Code in the updated Solomons Town Center Zoning Ordinance, adopted by the Calvert County Board of Commissioners and which became effective on September 22, 2009.¹ For convenience, the Architectural Design Criteria (Table 6-3) from the Solomons Town Center Zoning Ordinance's Appearance Code is provided in Appendix C.

This design manual does not supersede the Calvert County or Solomons Town Center Zoning Ordinances or building code requirements. This design manual offers property owners, residents, builders, and government officials examples of desirable design elements and examples of how new construction and renovation work can be compatible with the character of the Town Center.

It is important that the Architectural Design Manual be recognized primarily as a set of *guidelines* that illustrate the generally approved design concepts and styles for the Solomons Town Center. *Creativity is always encouraged.* The design guidelines are used to make consistent and fair decisions based on a uniform standard when property owners seek to renovate or construct new buildings. By providing a framework of design criteria it helps guarantee fairness and consistency during the review process.² By providing examples of completed projects, guidelines illustrate qualities that the Solomons Architectural Review Committee and Planning Commission are seeking for that type of development. The purpose is not to produce a replica, but to use the precedent as a real world example of desirable design elements that can make a project compatible with its surroundings.³ By encouraging new design that is visually compatible with the rest of the Solomons Town Center, it preserves Solomons' one-of-a-kind character. Therefore, by advocating good design we work towards achieving a more livable Town Center with high-quality living and working environments.

In order to provide a "one-stop shop" of architectural criteria and guidelines, including pre-approved items, the Architectural Design Manual presents a comprehensive compilation of elements of architectural design review in the Solomons Town Center. This manual will assure awareness of the aesthetic values of the community before the design process begins.

¹ Calvert County Department of Planning & Zoning. (2009). *Solomons Town Center Zoning Ordinance*. Prince Frederick, MD: Calvert County Government.

² Morley, David. "Design Review." Planning Advisory Service Inquiry Response. *American Planning Association*. December 16, 2009.

³ Hinshaw, Mark L. "Design Review," Planning Advisory Service Report Number 454. *American Planning Association*. February 1995. Pg. 17.

ARCHITECTURAL DESIGN MANUAL ORGANIZATION

Introduction: Explains what the architectural feature is and why it is important to have regulations and guidelines for it.

Zoning Ordinance Regulations (Solomons Town Center Zoning Ordinance (S.T.C. Z.O.): The regulations are directly from the Architectural Design Criteria in the Appearance Code of the Solomons Town Center Zoning Ordinance, or provide a reference to the requirements listed in the Solomons Town Center Zoning Ordinance or the Calvert County Zoning Ordinance.

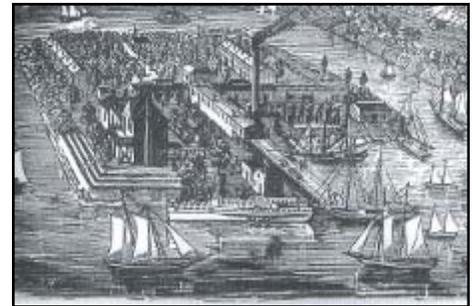
Guidelines: Guidelines are *not* regulations. Guidelines are suggestions of how new construction and renovation work can be compatible with the character of the Town Center. Guidelines may include illustrations or photographs of successful projects and descriptions of the project's desirable design elements.

Note: Pictures and illustrations are provided for informational purposes only. Architectural review applications are reviewed on a case-by-case basis.

HISTORY OF THE DEVELOPMENT OF SOLOMONS

The Solomons Town Center consists of Solomons Island, the land to the north of the Island, and the majority of the Dowell Peninsula. Solomons prides its self in the beautification of the waterfront along the boardwalk and the retention of original landmarks such as St. Peter's Church and the Solomons House. As a tidewater village, Solomons has always been a close-knit and self-sufficient community. It was Isaac Solomon that began the development of Solomons Island when he established an oyster canning factory. By the 1890s, Solomons consisted of two distinct communities-Solomons Island proper and Avondale on the mainland. The two were separated by a shallow stretch of water spanned by a rickety bridge.

Today, Solomons is well known as a tourist destination and boating community, occupied by various marinas, seafood restaurants, museums, gift shops, and a boardwalk that runs alongside the Patuxent River. The area south of Lore Road to Charles Street is considered the Village Core. The community is embellished with landscaped walkways, seating areas with views toward the Patuxent River, and play areas. This area includes a mix of water-related commercial, residential, and institutional uses between the Narrows and Solomons Island Road.



The Isaac Solomon Oyster Canning Company

THE ARCHITECTURAL REVIEW COMMITTEE

The Board of County Commissioners established Architectural Review Committees for each of the County's Town Centers. The Committees hold regular monthly meetings to review exterior design features of all structures as well as all signs within the Town Centers in accordance with appearance standards and guidelines specified by the Master Plans and Zoning Ordinances for their respective Town Centers. It is the committees' responsibility to make a recommendation to the Planning Commission on architectural design features based on the requirements of the Town Center Master Plans and Zoning Ordinances. Building Permits may not be issued until architectural approval is obtained.

The Solomons Architectural Review Committee reviewed its first application in 1988. The committee is composed of five appointed members. The Solomons Zoning Ordinance specifies three of the five positions

in order to ensure a broad range of views are represented. At least one member shall be an owner of a business located within the Town Center, at least one member shall be a resident who is not connected with a business within the Town Center, and at least one member shall have experience in architecture, historic preservation, urban design, planning, engineering or a related field.

JURISDICTION

1. The Committee shall have authority to review site designs and external design features of buildings, structures other than buildings, and signs for public, quasi-public, commercial, residential, industrial, multi-family or mixed use development. The Committee shall make judgments on the external design features based on the requirements of the Solomons Master Plan and Zoning Ordinance.
2. The Committee shall not have authority to approve site plans, including landscaping plans. Site plans shall be approved as set forth in the Zoning Ordinance and Town Center Master Plans.
3. The Committee shall have authority to review existing rules and regulations governing landscaping and site design and make recommendations to the Planning Commission.
4. The Committee shall also review proposed plans for public amenities, such as squares, landscaping plans, signs, and street furniture, and shall make recommendations to the Planning Commission and Board of County Commissioners.

REVIEW PROCESS

Submittal of Applications: Before the construction, alteration, reconstruction, repair, moving or demolition of any structure in the Town Center is made, the proposed project needs to be reviewed by the Committee. Submittal of an Architectural Review Application is required, along with 8 ½" x 11" elevations (to scale), a map showing the project's location, and a site plan. The building elevations must show all sides of the building and include (where applicable) windows and door designs and locations, shutters, corner boards, ornamentation and trim, porch/deck railing design, fence design, utility screening and outdoor lighting design to scale. Sign elevations must show dimensions and exact wording, lettering and logo style.

Participation in Meetings: Applicants or their representatives are required to attend and participate in discussions concerning their proposed projects. Projects will not be reviewed unless the applicant or a representative is present at the review meeting except upon request of the applicant. When presenting the project at the Committee meeting, applicants are to bring samples of materials and colors. For larger projects, presentation boards are recommended.

Ordinary Maintenance: Application to the Committee is not required for ordinary maintenance. Ordinary maintenance is interpreted as – that which does not alter the exterior features of a structure within the Solomons Town Center. Exterior features include the architectural style, design and general arrangement of the exterior; the color, nature and texture of building materials; and the type and style of all windows, doors, light fixtures, signs and similar items found on or related to the exterior of a structure with the Town Center. Ordinary maintenance includes the repair or replacement of roofs, gutters, siding, external doors and windows, trim, lights and other appurtenant fixtures with like materials of like design and color. Also, repainting of surfaces using the same or substantially the same color is considered ordinary maintenance.

Basically, ordinary maintenance is that which will have no material effect on the historical, architectural or cultural value of the property. This definition of ordinary maintenance applies, whenever appropriate, to the appurtenances of the property, as well as the building, structure or object itself.

DESIGN CHECKLIST

The following checklist is based upon the design elements presented in the Solomons Town Center Architectural Design Manual and Zoning Ordinance. As you begin to design your development project, consider the following questions. You will be asked to address these questions during the review process.

- How does the project acknowledge the architectural style of the Planning Area within which it is located? _____
- Is the design compatible in terms of height, proportion, rhythm, and scale? _____
- Does the roof meet the pitched or flat roof criteria? _____
- Is the project using the proper materials? _____
- Are the fence and deck designed in the same style as the building? _____
- Are the utilities and trash receptacles properly screened or positioned? _____
- Does the accessory structure meet the Appearance Code criteria? _____
- Is there any exterior lighting? If so, does it meet the guidelines? _____



Prepared by: The Department of Planning & Zoning.

Figure 1. SOLOMONS TOWN CENTER MAP

DESIGN STYLES

LATE 19TH /EARLY 20TH CENTURY
PRE-20TH CENTURY

MODERN INTERPRETATIONS OF PRE-20TH CENTURY STYLES

Introduction

Style is identified by particular features of design, composition, and embellishment. Developers are encouraged to rehabilitate and reuse historic buildings and their settings. Any new construction or alterations are encouraged to invoke the neighborhood's character in the design style of the project. The intention is not to replicate existing structures in the construction of new buildings. Because Solomons consists of a wide variety of styles and settings, many different architectural styles can be compatible. Below are examples of various houses and architectural styles currently in Solomons.



Example of incorporating new with old

Zoning Ordinance Regulations (S.T.C. Z.O.)

South of Lore Road: Shall be late 19th/early 20th century (“Victorian Era”).

North of Lore Road: Shall be late 19th/early 20th century; pre-20th century; modern interpretations of pre-20th century styles.

Guidelines

A. LATE 19TH/EARLY 20TH CENTURY “VICTORIAN ERA”

The Victorian Era houses have a wide variety of ornamentation and a romantic assortment of towers, porches, and gables. This architectural style is usually made up of two stories and a combination of irregular roof lines, turrets, and wraparound porches.

Queen Anne:

This is a style that usually has an asymmetrical shape and includes architectural features such as a front-facing gable, a round or square tower, and bay windows. Typically this style has a one-story porch that stretches the entire length of the front and sometimes one of the sides. Although not all Queen Anne houses have ornamentation, most are complimented with spindles or brackets.



Folk Victorian:

The Folk Victorian style is usually a square shape with a symmetrical arrangement and has a porch that can have an assortment of ornamentation.



American Foursquare:

This style advocates a simple comfortable living space rather than detailed exterior features. Typically an American Foursquare has a porch that spans the entire front of the house and the exterior walls are left plain. Over the basement there are usually two-and-a-half stories, with four equally-sized rooms on each full floor. This style leaves flexibility for designing creative, modern interpretations.



B. PRE-20TH CENTURY

Tidewater Farmhouse:

This style can typically be found throughout Southern Maryland and is distinguished by the side gabled roof and, symmetrical façade complimented by the front gable. This style can also be known as an ‘I house’ when it has an additional room off the back end of the house.



Back Creek Inn B&B

Cape Cod:

The Cape Cod architectural style can have steep roofs, dormers, and a symmetrical façade. This style is usually one-and-a-half stories.



C. MODERN INTERPRETATIONS OF PRE-20TH CENTURY STYLES

Cottage:

The cottage style typically has an open floor plan, covered porch, and falls in the range of 1,000-2,000 square feet.



Neo – Victorian:

Like the “Victorian Era” architecture, the Neo-Victorian style can have steeply pitched roofs, an asymmetrical shape, bay windows, decorative details, and an open floor plan. The Neo–Victorian style incorporates modern elements, such as, an attached garage and modern door and window designs.



Minimal Traditional:

The Minimal Traditional style incorporates Colonial and Tudor elements but with minimal ornamentation. The front porch is usually small with simple pillars or columns. This style is often one to two stories, with a practical floor plan. Garages can be either detached or part of the main structure. Now, this style can be found as a ranch or split-level.



Ranch

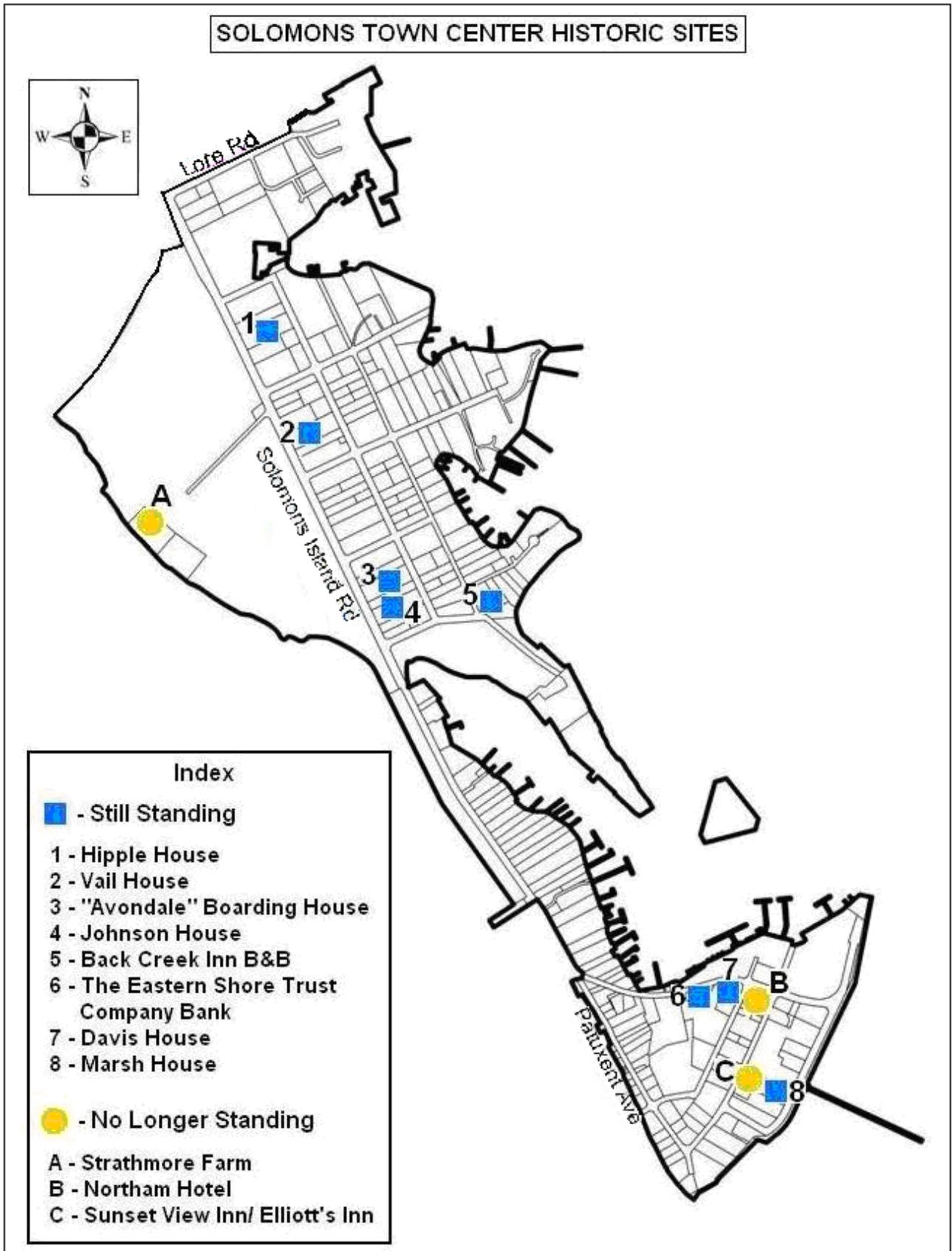
The following photos illustrate additional examples of houses currently in Solomons that are appropriate to the overall design guidelines.

North of Lore Road:



South of Lore Road:





Prepared by: The Department of Planning & Zoning.

Figure 2. SOLOMONS TOWN CENTER HISTORIC SITES MENTIONED IN THIS MANUAL

INSTITUTIONAL BUILDINGS

Introduction

“Public buildings with civic stature, quality materials, and prominent settings project a sense of permanence and human scale that expresses the dignity and importance of public institutions.”¹

Zoning Ordinance Regulations (S.T.C. Z.O.)

Refer to Article 6 of the Solomons Town Center Zoning Ordinance.

Guidelines

A standard can be set for incorporating Solomons’ vernacular architecture through the design of institutional buildings. Institutional buildings should set examples of designs that acknowledge the Town Center’s maritime heritage and integrate common architectural features found in Solomons. Creativity is strongly encouraged.

Below are examples of compatible institutional buildings in the Solomons Town Center.

The Old Solomons House: The Chesapeake Biological Laboratory Visitor’s Center, said to date from about 1780, is the oldest building in Solomons.² Although the use of the building has changed, the building has maintained its architectural heritage and style as a tidewater farmhouse. This is a good example of a historical structure that has been maintained to ensure long-term compatibility with its surroundings.



Calvert Marine Museum: The Calvert Marine Museum’s main exhibit hall is designed based on a canning factory and embraces Solomons’ history in the oyster industry. “The late W.E. Northam, long-time Solomons Island resident, described [the Isaac Solomon canning factory] from memory in 1954. It was a single-story building. The center section was two stories high, with a cupola and flag staff on top.”³



St. Peter’s Church: “Built in 1889, this is the only surviving board-and-batten, Gothic-style church in Calvert County.”⁴



¹ Shelley S. Mastran. Edward T. McMahon. “Better Models for Development in Maryland: Ideas for Creating More Livable and Prosperous Communities.” *The Conservation Fund*. 2004.

² Richard J. Dodds. “Solomons Island and Vicinity: An Illustrated History and Walking Tour”. Calvert Marine Museum. 1995.

³ Ibid.

⁴ Ibid.

The following photos illustrate additional examples of compatible institutional buildings in the Solomons Town Center that incorporate desirable design elements.



Comfort Station



Information Center

COMMERCIAL BUILDINGS

Introduction

“Seventy-two percent of consumers say they would prefer to shop in a village center with a mix of stores and civic buildings rather than a strip shopping center.”¹

Zoning Ordinance Regulations (S.T.C. Z.O.)

Refer to Article 6 of the Solomons Town Center Zoning Ordinance.

Guidelines

It is important for commercial buildings within the Town Center to blend in with Solomons’ vernacular architecture. By continuing the dominant architectural styles in Solomons it can ensure long-term compatibility and enhance the prospects for adaptive use if the franchise facility or establishment goes out of business. It is not encouraged to attempt to replicate historical structures found in Solomons but instead it is encouraged to design creative modern interpretations. Below are examples of historical commercial buildings in Solomons. Rather than build franchises and store chains using their standard building designs, it is strongly encouraged that they alter the standard design to be compatible with the rest of the Solomons Town Center. Refer to the Institutional Buildings section for examples of buildings in Solomons that have achieved compatibility.



Locust Inn



Bowen's Inn

Throughout the country businesses and restaurants have been established in restored historic buildings or designed in the vernacular architecture of the community. Examples of this are provided below.

¹ Shelley S. Mastran, Edward T. McMahon. “Better Models for Development in Maryland: Ideas for Creating More Livable and Prosperous Communities”. *The Conservation Fund*. 2004.



Burger King in Virginia



Chevron Station in Vermont



McDonald's in Maine

Below are examples of modern commercial buildings that are compatible to Solomons.

Avondale: The Avondale Center is located along Solomons Island Road, south of Lore Road. This building is in a predominately residential area and is significantly larger than the houses in the immediate area. Although this building is the only commercial building within the immediate area, it is compatible to its neighbors. By having a roofline that is broken into two peaks, it breaks the façade into smaller masses that conform to the primary proportion of the neighboring houses. This same principle was implemented along the sides of the building by incorporating the three side gables on each side.



A desirable design element is that the building's façade and landscaping are the focal points of the streetscape rather than a parking lot and cars. The parking area is located on the side and rear of the building, reducing the visual impact.

North of Lore Road: Rita's, a franchise commercial building located north of Lore Road, has adopted architectural characteristics common to Solomons. The design style of this franchise building is desirable because of the adaptive use of common architectural elements found in Solomons that were built to suit the needs of the business. By extending the front gable forward, it allows for a covered area for the restaurant's patrons. Other desirable design elements are the brick foundation and the front gable.



If the signs were taken down it would not be obvious what franchise had built it. This enhances the prospects for adaptive use if the franchise facility goes out of business so that the next owner will not have to do any major exterior changes, unless so desired.

Village Core (South of Lore Road): Built in 1950, the building on the left was renovated and expanded in the late 1990's. This is an example of using creativity to rehabilitate an older building for a mixed use. The design of the renovation successfully preserves the original structure's character while incorporating modern architectural elements. Compatibility was achieved by continuing the rectangular shape of the building mass and using the peaked roof as an architectural accessory. By locating the addition in the back of the building, it not only maintains the building's original proportion but it also preserves the compatibility between the renovated building and the adjacent building to the south by continuing the rhythm of the streetscape.



Although this is the only building in the immediate area that has a two story front porch, it upholds the rhythm of the streetscape along Solomons Island Road by respecting the recurrent alteration of wall areas with door and window elements in the façade. An example of

this is the equal arch opening in the gable above the upper porch that is similar to, not replicates, the attic windows of the adjacent building.

North of Lore Road: The desirable design elements of this office building located north of Lore Road are the proportion and rhythm of the building mass. This office building is one of the larger buildings found north of Lore Road but by breaking the façade into smaller masses, the building conforms to the primary expression of the streetscape. Also, by repeating façade patterns of windows and doors found throughout the Town Center, the building helps unify the streetscape.



Another desirable design element is the architectural style of the building and the traditional use of front gables as architectural accessories. This style is compatible with styles found in Solomons because of the muted colors, brick foundation, and the shutters that are sized to fit the windows if the shutters were closed.

ADDITIONS

DESIGN

BUILDING MASS

MATERIALS

Introduction

Many buildings in the Solomons Town Center have been expanded by the construction of additions. A new addition should be designed to be compatible and to preserve the character of the original structure.

A. DESIGN

Zoning Ordinance Regulations (S.T.C. Z.O.)

No criteria. Refer to the guidelines below for guidance.

Guidelines

Design elements should take their cue from the original structure and meet all Appearance Code criteria. One way to strengthen the relationship to the original building is by including distinctive architectural features of the original building in the design of the addition, such as ornamentation, building materials, window and door design, and roof pitch.

When designing an addition consider the following questions:

- How does the addition relate to the main structure?
- Is the addition compatible in terms of height, proportion, rhythm and scale?
- Will it respect the privacy of existing neighbors?

B. BUILDING MASS

Zoning Ordinance Regulations (S.T.C. Z.O.)

Residential Development: Refer to Section 5-1 of the Solomons Town Center Zoning Ordinance for setback requirements and height regulations.

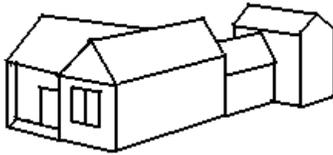
Non-Residential Development & Mixed Use Development: Refer to Section 6-2 of the Solomons Town Center Zoning Ordinance for setback requirements and height regulations.

C1 Sub-Area: Refer to the Form-Based Code found in section 6-12 of the Solomons Town Center Zoning Ordinance for building size, height requirements, and setbacks.

Guidelines

Compatibility to the existing structure can be accomplished by keeping the addition small in relation to the main structure to help minimize any visual impacts. By locating an addition in the back of the existing structure, it is less likely to block any significant architectural features. Compatibility can also be achieved by maintaining the structure’s proportion, rhythm and scale. Additionally, compatibility can be achieved by repeating the rooflines and slopes found on the existing structure.

Example of a successful addition:



Example of an addition that overwhelms the existing house:



The photo below is an example of a house south of Lore Road that successfully built an addition that is compatible to the original structure. The desirable design elements of this structure are the repeated roof lines, the use of uniform material, the steady rhythm of the building elements, the proportion of the addition to the original section of the structure, and the placement of the addition in relation to the original structure.



C. MATERIALS

Zoning Ordinance Regulations (S.T.C. Z.O.)

South of Lore Road: Siding shall be brick (in red-brown range), wood or wood appearance horizontal or board and batten siding with minimum 4” corner boards; wood or wood appearance shake or shingle siding. Shake or shake appearance siding may be used only as architectural detail.

North of Lore Road: Colors and tones shall be muted. Siding shall be brick (in red-brown range), wood or wood appearance horizontal or board and batten siding with minimum 4” corner boards. Also wood or wood appearance shingle or shake, stucco, and split-face block. Vertical metal may be approved for use on sides of buildings not visible from public roads or waterways, provided quality standards are met.

Guidelines

The materials of an addition should compliment and blend with the materials of the main structure, including the roofing materials. The roofing materials used for an addition are encouraged to be the same as the materials used on the existing structure. Using the same materials for the addition as the existing structure will help achieve compatibility.

The photo below shows a house south of Lore Road where the addition is compatible with the existing house. The desirable design elements of this addition are the continued use of the same color brick and roofing materials, the repeated roof lines, and the minimal use of the complimentary white siding.



BUILDING MASS
HEIGHT
PROPORTION
RHYTHM
SCALE
ROOFLINES & PITCH

Introduction

It is important to regard the entire street and the adjacent neighborhood as an ensemble which together creates the character of a place. By concentrating on the various rhythms formed by the relationship of solids and voids as you view a series of buildings (porches, windows, and door openings), a pattern is established. It is desirable that the established pattern of a neighborhood be repeated in both renovation and new construction. New buildings should be designed to be compatible in terms of height, proportion, rhythm, and scale.

A. HEIGHT

Zoning Ordinance Regulations (S.T.C. Z.O.)

Residential Development: Refer to Section 5-1.11 of the Solomons Town Center Zoning Ordinance.

Non-Residential & Mixed Use Development: Refer to Section 6-2.02 of the Solomons Town Center Zoning Ordinance.

C1 Sub-Area: Refer to the Form-Based Code found in section 6-12.03 of the Solomons Town Center Zoning Ordinance.

Guidelines

It is encouraged that the height of new buildings be roughly equal to the average height of existing buildings on and across the street. Avoid new construction that greatly varies in height from older buildings in the vicinity.



Encouraged: Example of adjacent buildings with similar heights.



Discouraged: Example of a new building that greatly varies from heights of adjacent buildings.

B. PROPORTION

Zoning Ordinance Regulations (S.T.C. Z.O.)

No criteria. Refer to the guidelines below for guidance.

Guidelines

Proportion is the relationship between the width and height of the front elevation of the building. Proportion can also apply to the relationship of the windows and doors to each other and their relationship to the building itself.

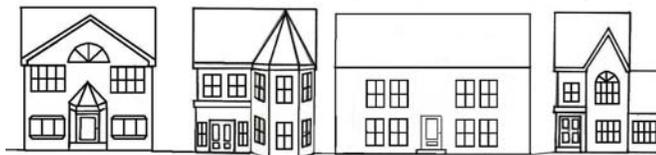
Relate the vertical, horizontal, or non-directional facade character of new buildings to the predominant directional expression of nearby buildings. Horizontal buildings can be made to relate to the more vertical adjacent structures by breaking the facade into smaller masses that conform to the primary expression of the streetscape.

Encouraged: Example of a horizontal building façade broken into smaller masses.



Avoid strongly horizontal or vertical facade expressions unless compatible with the character of the structures in the immediate area. The new building shown below does not relate well to either its neighbors or the rhythm of the streetscape because of its unbroken facade.

Discouraged: Example of a building façade not broken into smaller masses.



C. RHYTHM

Zoning Ordinance Regulations (S.T.C. Z.O.)

No criteria. Refer to the guidelines below for guidance.

Guidelines

The rhythm of the buildings and their components is the spacing or repetition of architectural elements or details within like elements. The regularity and frequency of elements such as doors, windows, or porches, and their placement with a facade, is a type of rhythm. Rhythm between buildings can exist when building types are repeated along a street. Regular and constant rhythms between buildings and components can help unify the streetscape.

It is discouraged to exactly duplicate the facades of adjacent buildings. It is encouraged that new buildings be creative designs that incorporate an individual style. Respect the recurrent alternation of wall areas with door and window elements in the facade. Also consider the width to height ratio of bays in the facade. The placement of openings with respect to the facade's overall composition and symmetry should be carefully studied. In Solomons, windows were treated as openings punched into the flat planes of the wall. There is a typical proportion of rhythm to their placement. Window widths were typically in the range of 28" to 30". Window height is usually twice the width. Spacing between windows was usually equal to the window width, and up to twice that width. The houses illustrated below have a successful rhythm, including rhythm of doors and windows.

Encouraged: Example of a successful rhythm.



Avoid introducing incompatible facade patterns that upset the rhythm of openings established in surrounding structures. The locations of the duplex's entrances shown in the example below do not follow the pattern of the adjoining buildings.

Discouraged:



D. SCALE

Zoning Ordinance Regulations (S.T.C. Z.O.)

No criteria. Refer to the guidelines below for guidance.

Guidelines

Scale is the relationship between architecture and man or between the architectural mass and the space which surrounds it. The scale of the Town Center should be intimate in nature. In the Solomons Town Center it is encouraged for buildings to have human scale in order to obtain a comfortable size relationship between buildings and people. Buildings scaled to humans have entries, doorways, work surfaces, fixtures, and other features that are sized to the average person. Any building built on a monumental scale will seem out of place.

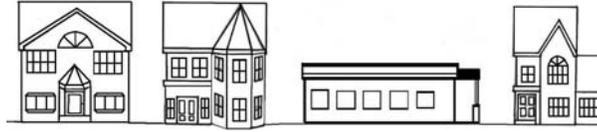
Relate the size and proportions of new structures to the scale of adjacent buildings. Although much larger than its neighbors in terms of square footage, the building shown below maintains the same height, scale and rhythm as the existing buildings.

Encouraged:



New buildings that disrupt the scale and rhythm of the streetscape are discouraged. The shorter building below is out of scale and disrupts the rhythm of the streetscape.

Discouraged:



E. ROOFLINES & PITCH

Pitched Roofs

Zoning Ordinance Regulations (S.T.C. Z.O.)

South of Lore Road: Pitched roofs shall be wood, metal or asphalt shingles in gray or brown tones. Main roof pitch shall be: minimum 6/12 limited to gable, hipped, shed and true mansard. Gambrel and false mansard are not permitted. Dormer roofs are not subject to these requirements.

North of Lore Road: Pitched roofs shall be wood, metal or asphalt shingles in muted tones. The main roof pitch shall be a minimum 6/12 limited to gable, hipped, shed and true mansard. Exceptions for shopping centers and commercial buildings may be made, provided the design meets the intent as described above. Gambrel and false mansard are not permitted.

Guidelines

A review of the old photos taken in Solomons and walk around Avondale and the commercial district will show the preponderance of steeply pitched roofs on the Island. The Appearance Code Criteria requirement that main roof pitches be a minimum 6/12 (i.e., 6 feet of vertical rise in twelve feet of horizontal run), ensures a roofline compatible with most of those currently existing in the Town Center. Some dormer roofs are flatter, but the overall appearance will be of rhythm among the new and old structures in an area.

Rooflines in Historic Solomons:



“Avondale”



Strathmore Farm



Hipple House

Modern Peaked Roofs:



True Mansard Roofs:

A true mansard roof is made up of two slopes on each of its four sides with the lower slope being much steeper, almost a vertical wall, while the upper slope is usually not visible from the ground.



Sunset View / Elliott's Inn

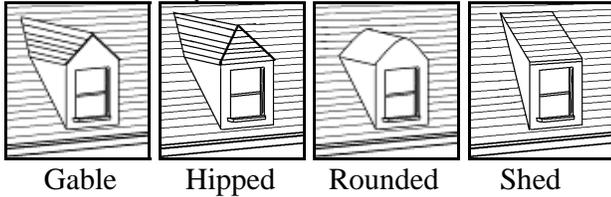


Marsh House, 2009

Dormers:

Dormers were frequently used to allow habitable space in the roof area, and they provide an attractive feature on the older buildings. It is encouraged for dormers to be designed to be compatible with the existing/proposed rooflines. It is also suggested that dormers do not overwhelm the building. Typically a dormer is a subordinate architectural feature and is sized to follow the proportions of the building and other windows.

Dormer roof styles:



Hipped



Gable



Shed

Refer to Table 1: Dormer Design Guidelines, for examples of the encouraged styles, placement and sizes of dormers. Below each dormer illustration is the building's roof pitch and a percentage that represents how much of the roof the dormers cover. The illustrations in Table 1 are not comprehensive of all appropriate designs and uses of dormers. Creativity is encouraged.

Examples of Encouraged & Discouraged Dormer Designs: (roof pitch - percentage of roof covered by dormers)

Gable-Style Roof 	
Encouraged gable-style dormers on a gable-style roof:	 <p>32/48 - 66% 24/48 - 50% 24/48 - 50%</p> <p>20/48 - 42% 16/48 - 33% 20/48 - 25%</p>
Encouraged shed-style dormers on a gable-style roof:	 <p>32/48 - 66% 24/48 - 50% 12/48 - 25%</p>
Discouraged shed-style dormers on a gable-style roof:	 <p>48/48 - 100% 44/48 - 92% 20/48 - 42%</p>
True Mansard-Style Roof 	
Encouraged style dormers on a true mansard-style roof:	 <p>24/48 - 50% 24/48 - 50% 20/48 - 42%</p> <p>16/48 - 33% 12/48 - 25%</p>
Discouraged dormers on a true mansard-style roof:	 <p>44/48 - 92%</p>

Figure 3. DORMER DESIGN GUIDELINES

Illustrations by Brent Hutchinson, Patuxent Architects

Turreted Roof:

A turret is a small tower that projects vertically from the wall of a building. One example of a turreted roof exists on Solomons Island Road, and a comparison of the present day appearance with a photo taken during construction shows that the house has retained all of its original charm.

Example of a turreted roof:



Vail House under construction in 1906



Vail House, 2008

FLAT ROOFS

Zoning Ordinance Regulations (S.T.C. Z.O.)

South of Lore Road: Flat roofs may be permitted on large commercial buildings (5000 square feet or greater) if the roofs are green roofs that meet the criteria of Section 6-2.02.D.3.

North of Lore Road: Flat roofs may be permitted on shopping centers and large commercial buildings (5000 square feet or greater) if the roofs are green roofs that meet the criteria of Section 6-2.02.D.3.

Guidelines

As the picture below depicts, historically, flat roofs have been used in Solomons. Within the historic Solomons commercial area, waterfront property is in demand for financial investment as well as for quality of living reasons. There is a growing concern for the impact this development has on water quality. One way of abating water pollution, is by making a flat roof, green. A green roof is a building roof that is partially or completely covered with vegetation and soil in order to reduce the flow of stormwater runoff.

Flat Roof:



Green Roof:



BUILDING MATERIALS

SIDING ROOF

Introduction

New construction and building alterations should use sustainable materials and components. To ensure compatibility when selecting colors, consider the colors of the adjacent structures.

A. SIDING

Zoning Ordinance Regulations (S.T.C. Z.O.)

South of Lore Road: Siding shall be brick (in red-brown range), wood or wood appearance horizontal or board and batten siding with minimum 4” corner boards; wood or wood appearance shake or shingle siding. Shake or shake appearance siding may be used only as architectural detail.

North of Lore Road: Colors and tones shall be muted. Siding shall be brick (in red-brown range), wood or wood appearance horizontal or board and batten siding with minimum 4” corner boards. Also wood or wood appearance shingle or shake, stucco, and split-face block. Vertical metal may be approved for use on sides of buildings not visible from public roads or waterways, provided quality standards are met.

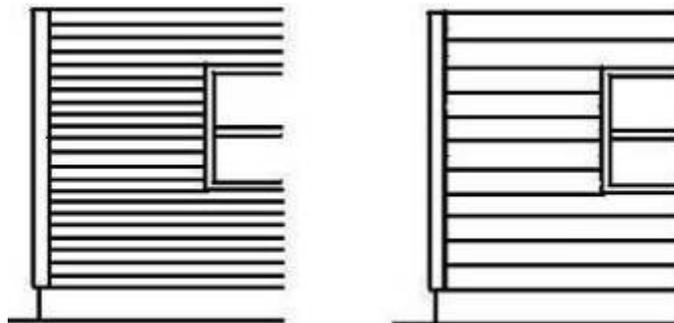
Guidelines

Clapboard Siding:

Clapboard siding including German lap siding, is the predominant exterior siding in Solomons, and its proper use and repair is encouraged. It was the most common facing of the wood frame buildings in this part of the country and is still being used with success in new construction today.

In clapboard siding, the horizontal wood strips overlap to keep out the weather, and in doing so cast continuous shadow lines across the facade. Board and batten was traditionally used in accessory structures and is still encouraged. However, plywood siding (example T-111) is discouraged.

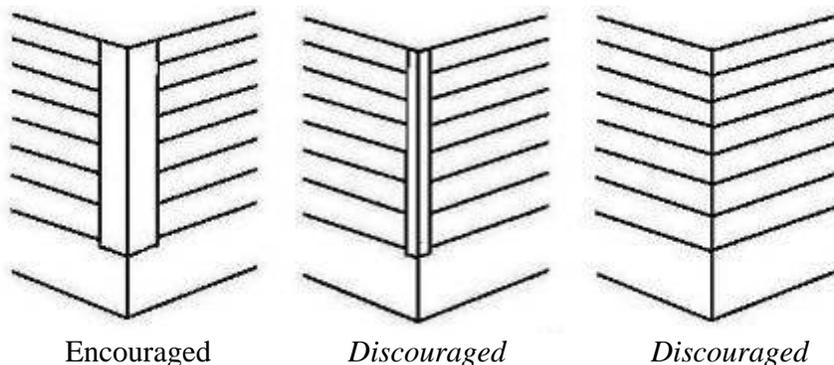
When wood siding is used, the spacing of the clapboards should be as close as possible to the original, as illustrated in the following drawings:



The maximum exposure shall be a 6” reveal to the weather. Note how the apparent scale of the wall has changed because of the wider use of the siding overlap, which also affect the texture of the wall surface.

The corner treatment of siding is important because a wide corner strip was typical in the original constructions. The later feature of mitering the corners, or using a small corner board, does not have the

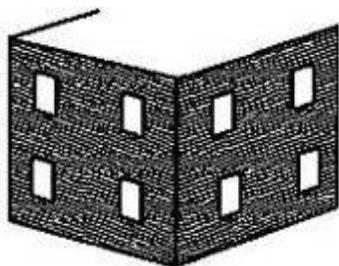
same effect and does not frame the wall properly. This is shown in the following drawings. Corner boards should be a minimum of 4”.



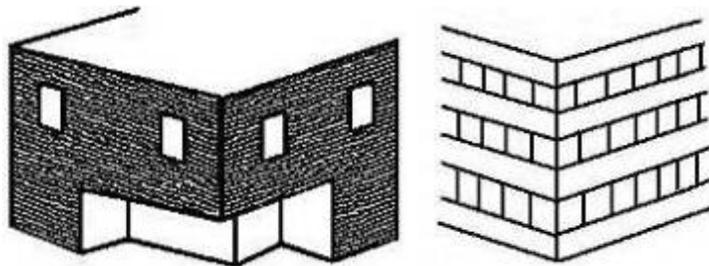
Brick Siding:

When brick is used in new construction, the color should be in the red-brown range, not yellow, gray, or salt and pepper. Further, when it is used as a building material, it must follow the structural requirements of masonry bearing walls, and not be suspended above ground. Brick was never used to build a structural frame of columns and beams. It was used to form load-bearing walls with “punched” openings and larger solid structural piers.

Encouraged use of brick:



Discouraged uses of brick:



Foundation:

South of Lore Road: Exposed building foundation, including front, sides, and rear facades, should be brick in the red-brown range.

North of Lore Road: Exposed building foundation can be brick in the red-brown range, stucco, split face block, or imprinted concrete. The foundation’s color should be compatible to the rest of the structure.

B. ROOF

Zoning Ordinance Regulations (S.T.C. Z.O.)

South of Lore Road: Pitched roofs shall be wood, metal or asphalt shingles in gray or brown tones.

North of Lore Road: Pitched roofs shall be wood, metal or asphalt shingles in muted tones.

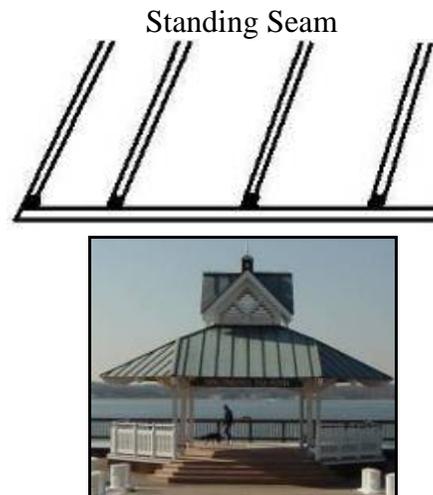
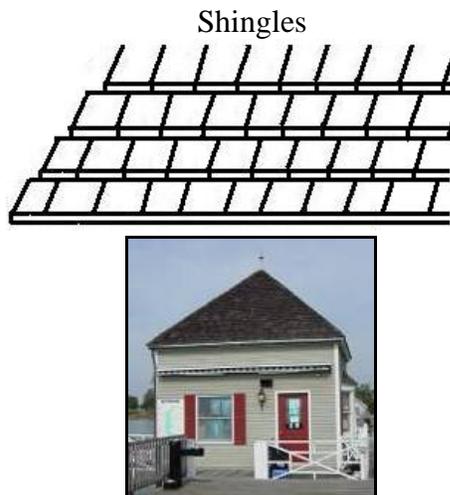
Guidelines

In the late 19th century, when Solomons was thriving as a fishing and boat building center, most of the homes were white, ivory, light gray or blue gray, often with dark green trim. Early on, roof materials were typically lead or copper, but later, tin was used to craft standing seam roofs.

Generally, the use of more than two colors on structures detracts from the appearance. However, some skilled designer can make multicolor schemes work, and the Architectural Review Committee will have to judge on a subjective level, the appropriateness of a proposed color scheme depending on the context.

Since the higher pitches of roofs in Solomons make these roofs more visible from the street and water, care must also be used in selecting appropriate roofing materials.

While wood shingles and metal roofs were probably original, asphalt shingles can be used if the colors are chosen in the dark grays and browns, and are selected with an eye toward the building colors.



BUILDING ELEMENTS

- SHUTTERS
- WINDOWS
- SKYLIGHTS
- DOORS & ENTRYWAYS
- PORCHES
- ORNAMENTAION & COLUMNS
- SOLAR PANELS

Introduction

A building is defined by the elements that make it up. It is the architectural details that allow the owner to give their house character by incorporating their individual style. Creative designs are encouraged.

A. SHUTTERS

Zoning Ordinance Regulations (S.T.C. Z.O.)

South of Lore Road: Shutters, if used, shall be sized to fit the window if closed.

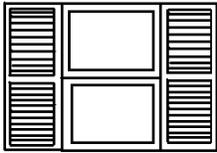
North of Lore Road: Window and shutter styles other than those contained in the Architectural Design Manual may be approved, provided they are compatible with the overall style of the building.

Guidelines

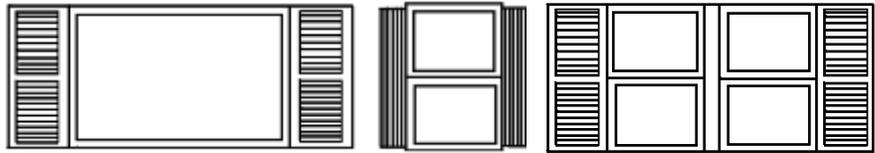
A glance at the historic photos on the preceding pages will show very successful uses of shutters and trim around windows. Appearance Code criteria state that they shall look as if they could, if closed, fit the window. Even if the shutters are fixed in the open positions, they should be sized right. The following examples illustrate this principle of shutters sized to fit the window.

Shutter Styles & Sizes:

Example of shutters sized to fit the window.

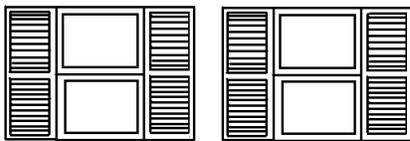


Examples of shutters that would *not* fit the window if the shutters were closed.

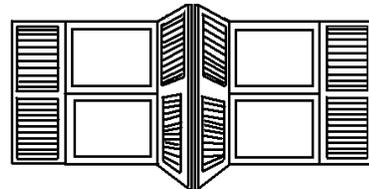


Shutter & Window Placement:

Example of two windows located with enough space between to have shutters that are sized to fit the windows.



Example of two windows that do *not* have enough space between to have shutters that are sized to fit the windows.



B. WINDOWS

Zoning Ordinance Regulations (S.T.C. Z.O.)

South of Lore Road: See the Architectural Design Manual for window design criteria. Refer to the guidelines below for guidance.

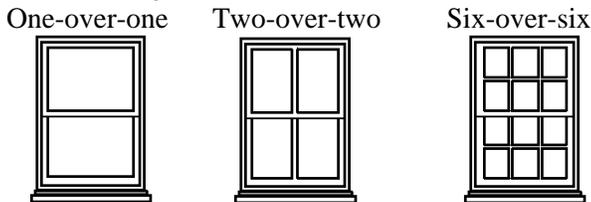
North of Lore Road: Window and shutter styles other than those contained in the Architectural Design Manual may be approved, provided they are compatible with the overall style of the building.

Guidelines

Windows help establish the basic character of a building. The glass divisions as well as the surrounding trim are details which either assist a building in fitting into its surroundings or make it stand out as inappropriate. It is preferred that the front of a building have windows. Blank (windowless) walls at ground level adjacent to roadways are discouraged. Changing the existing window pattern, either by changing their location or adding new windows to a façade, should only be done after considering the effects the change will have on the overall character of the building. (See also Height, Proportion, Rhythm and Scale.)

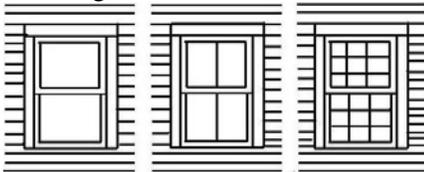
An appropriate sash for this area is a double-hung, (or single-hung in new windows), with mullions as shown in the illustrations below or bay windows with mullions. Casement windows with mullions are also encouraged.

Double Hung Windows:

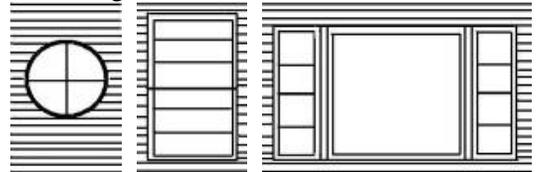


Examples of window treatments are shown below, both in regard to re-sizing a window (which is difficult to carry off successfully), and in replacing an existing window with a new model.

Encouraged Window Treatments:



Discouraged Window Treatments:

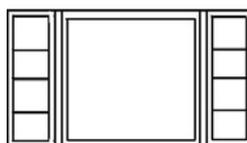


Replacement Window:



The “modern” window treatment is not preferred in a renovated building or in a new construction which hopes to be compatible with and respect its historic context.

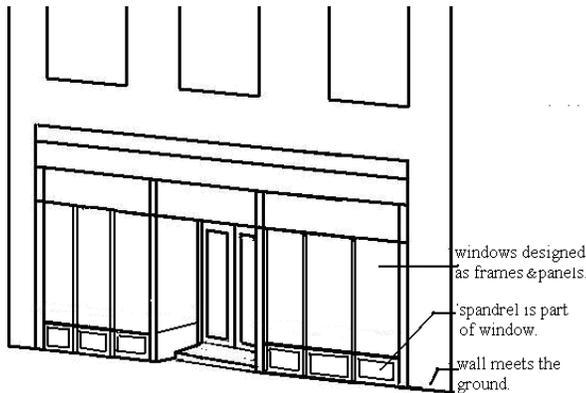
Example of a “Modern” Window Treatment:



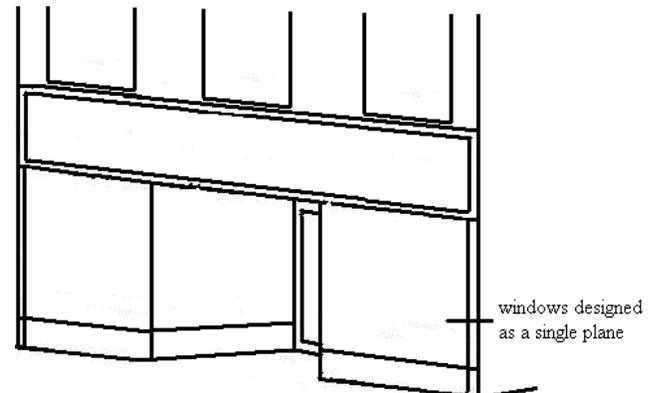
Commercial Windows:

When a large window was needed, for example a show window in a store, it was designed as frames and panels, with proportions and rhythms related to the windows above. Storefronts greatly shape the scale of the streetscape. The spandrel was built as part of the window, not part of the wall. There were openings “cut into” the plane of the wall, and the wall met the ground. Windows designed as a single plane with subdivision minimized, lack human scale.

Encouraged store front window:



Discouraged store front window:



Daylighting:

“Daylighting is the practice of bringing light into a building interior and distributing it in a way that provides more desirable and better-quality illumination than artificial light sources.”¹ This can be achieved by positioning windows so that they maximize the amount of sunlight that penetrates the building. By doing so, it can considerably reduce energy costs by allowing less dependence on artificial light sources. Not having windows or using under sized windows on the façade of a building is *not* encouraged.



No windows



Under Sized Windows

C. SKYLIGHTS

Zoning Ordinance Regulations (S.T.C. Z.O.)

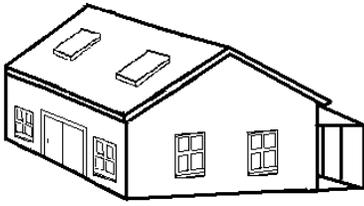
South of Lore Road: Skylights are permitted with no restrictions.

North of Lore Road: Skylights are permitted with no restrictions.

Guidelines

Skylights are used as a means for allowing more natural light to enter a building. By installing skylights on the side or in the back of the building it helps preserve the façade and the rhythm of the streetscape (refer to Rhythm). The following photo is an example of a skylight that does not detract from the roofline or the other architectural elements of the building.

¹ Loren E. Abraham. “Sustainable Building Technical Manual: Green Building Design, Construction, and Operations” *Part IV: Building Design, Daylighting*. Public Technology, Inc. 1996.



Skylight

D. DOORS AND ENTRYWAYS

Zoning Ordinance Regulations (S.T.C. Z.O.)

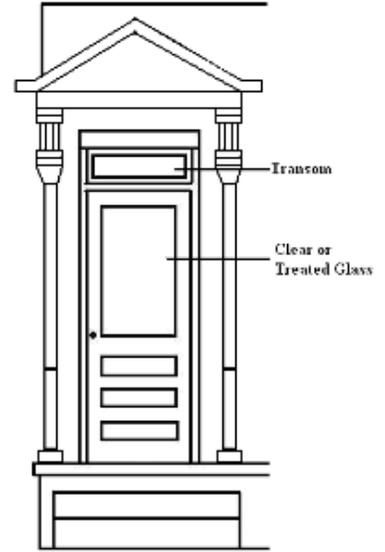
This architectural feature is not listed in the Solomons Town Center Zoning Ordinance Appearance Code. Refer to the guidelines below for guidance.

Guidelines

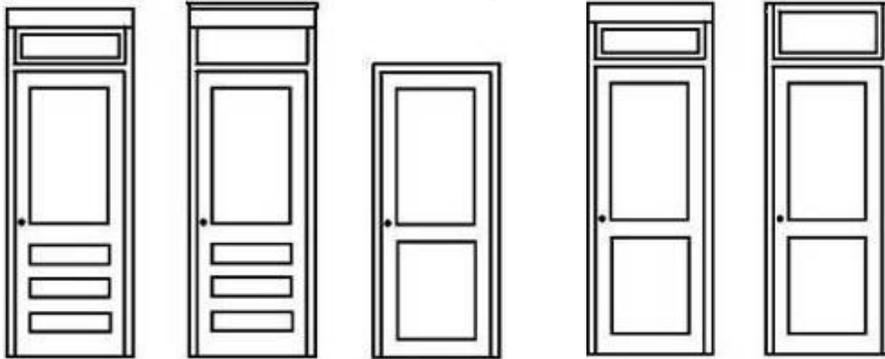
Doors and entry treatment in the historical buildings were distinguished by several characteristics. Transoms over the doors were a very common feature as were the double glass sidelights one on each side of the entry door.

Trim and moldings were not very ornate, but were generally built up of flat molding strips to give some bulk to the surroundings and frame the door openings. The door itself generally had one large glass light in the upper half and several recessed panels below.

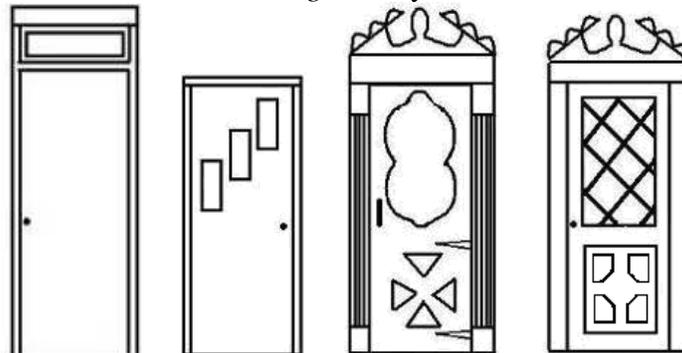
The following illustrations show some examples of renovation techniques both successful and unsuccessful in dealing with entry doors.



Examples of encouraged entry doors:



Discouraged entry doors:



E. PORCHES

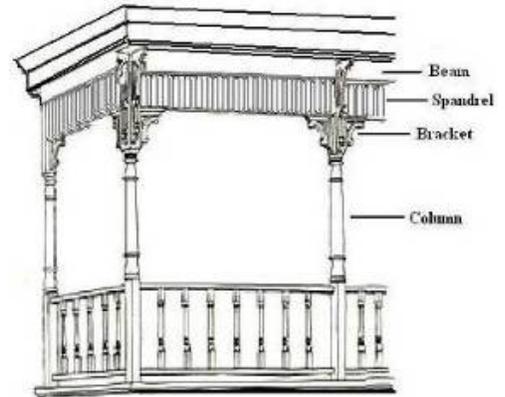
Zoning Ordinance Regulations (S.T.C. Z.O.)

The C-1 Sub-area should refer to the Form-Based Code found in section 6-12.03 of the Solomons Town Center Zoning Ordinance.

For all other sub-areas, no criteria. Refer to the guidelines below for guidance.

Guidelines

A porch is an important character-defining element of a building facade. Part of a house’s charm is the style of the porch. A porch provides visual interest and should preserve the scale of the building and streetscape. Porches provide a transition area between the public and private realm and encourage human interaction and enhance the cohesiveness of the streetscape.



F. ORNAMENTATION & COLUMNS

Zoning Ordinance Regulations (S.T.C. Z.O.)

South of Lore Road: Wood or wood appearance.

North of Lore Road: No criteria. Refer to the guidelines below for guidance.

Guidelines

Eave and entry ornamentation are not very common in Solomons except for some notable examples at the churches and some of the large Victorian houses south of Lore Street on Solomons Island Road.

The primary ornamentation seems to be in the construction of porches, with turned columns, highly decorated brackets, and delicate balustrades. These features have been applied successfully to fairly simple house types with a very pleasant result.

The following illustrations show examples of early and modern decorated porches in Solomons, along with some guidelines for replacing porch parts.



Northam Hotel



Modern House in Avondale

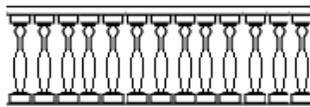
Ornamentation:

Examples of Spandrels

Spindles



Cutwork

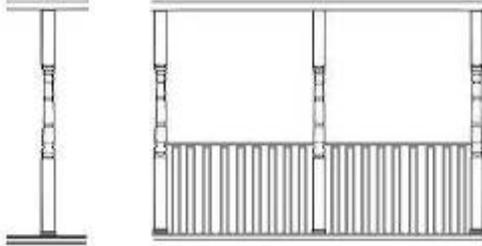


Examples of Brackets

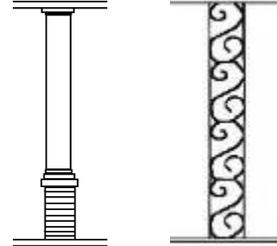


Columns & Posts:

Examples of Encouraged Columns & Posts:



Discouraged Columns & Posts:



Note: Metal columns and posts are not permitted south of Lore Road.

G. SOLAR PANELS

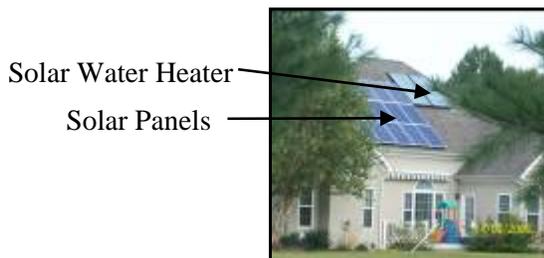
Zoning Ordinance Regulations (S.T.C. Z.O.)

South of Lore Road: Solar panels are permitted with no restrictions.

North of Lore Road: Solar panels are permitted with no restrictions.

Guidelines

Solar panels are encouraged to be architecturally integrated into the design of the principal structure in terms of placement. It is encouraged that solar panels be flush with the roof or a sidewall in order to maintain the visual rhythm of the building. Below is an example of a house in St. Leonard that has successfully installed solar panels in a visually pleasing manner.



BUILDING SITE
FENCES & SCREENS
UTILITIES & TRASH RECEPTACLES
DECKS
YARDS & LANDSCAPING

Introduction

Elements added to a building site should compliment and blend with the main structure. This includes fences, screens, utilities, trash receptacles, and decks. The design should take into account the design style and the character of the neighborhood.

A. FENCES & SCREENS

FENCES

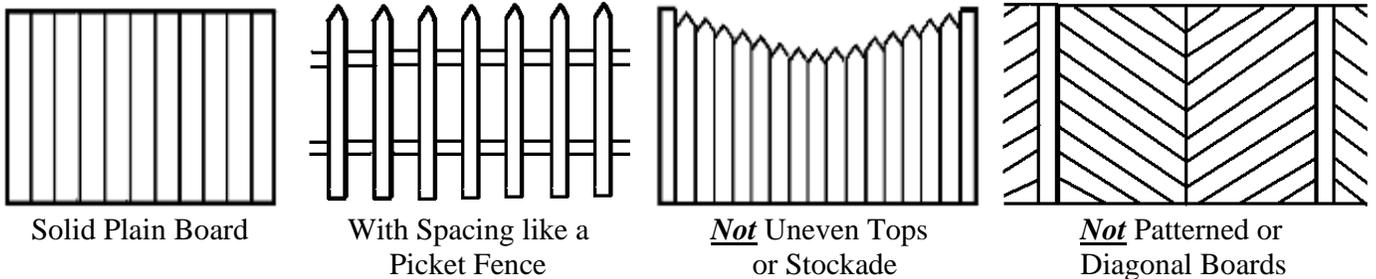
Zoning Ordinance Regulations (S.T.C. Z.O.)

South of Lore Road: Chain link and stockade fencing are not permitted. Design shall be in same style as building. Retaining walls should be constructed in a brick pattern.

North of Lore Road: Chain link and stockade are not permitted. Design shall be in same style of building.

Guidelines

Fences are typically used to define property lines and create a sense of privacy, as well as add to the character of the landscaping. Screen walls and fences should not detract from the original buildings, and, in fact, should be designed to complement or even enhance the design of the main building. If garden walls and fences are used for privacy, they should contribute to the continuity of the streetscape.



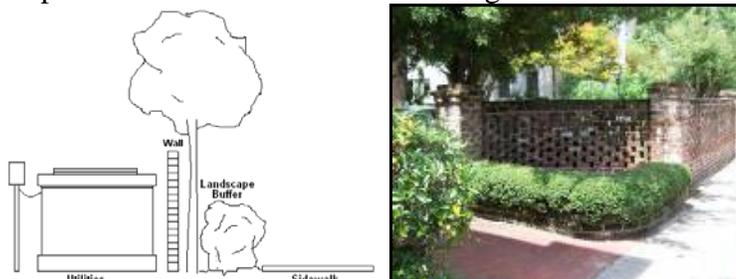
SCREENS

Zoning Ordinance Regulations (S.T.C. Z.O.)

Refer to Section 6-5.06 of the Solomons Town Center Zoning Ordinance.

Guidelines

Screening is required in order to hide unattractive or incompatible uses from view and to reduce the noise impact of outdoor uses. Screening should be in the form of trees and shrubs or masonry walls.



B. UTILITIES AND TRASH RECEPTACLES

Zoning Ordinance Regulations (S.T.C. Z.O.)

South of Lore Road: Screened or positioned so that they are not visible from public roads, waterways and adjoining properties.

North of Lore Road: Screened or positioned so that they are not visible from public roads, waterways and adjoining properties.

Guidelines

A trash enclosure is an enclosure designed to screen all trash containers and should be constructed to be compatible to the main building. The photos below are examples of trash enclosures north of Lore Road that are compatible to the main structure by using the same materials as the main structure.



C. DECKS

Zoning Ordinance Regulations (S.T.C. Z.O.)

South of Lore Road: Design shall be in the same style as the building.

North of Lore Road: Design shall be in the same style as the building.

Guidelines

The overall design of a deck should contribute to the design of the primary structure. The placement of the deck should not block any significant features of the building to which it is being attached. The materials should compliment and blend with the materials of the main structure.

D. YARDS & LANDSCAPING

Zoning Ordinance Regulations (S.T.C. Z.O.)

Refer to Section 6-5 of the Solomons Town Center Zoning Ordinance.

Guidelines

Yards are encouraged to be primarily made up of grass, trees, shrubs, and other vegetation, not a substitute, such as gravel. Landscape designs and materials should compliment both the streetscape and the building. Trees not only make a neighborhood appealing, but also lower energy costs, raise property values, and improve water quality. All landscaping elements should be protected and maintained in order to promote attractive development. By maintaining the street trees and the green space in the front yard, the residential property in the photo below protects the continuity of the streetscape.



Landscaping is also encouraged on commercial sites. The photos below are examples of desirable landscaping. The parking lot's trees provide shade and help improve parking lot's visual impact.

Landscaped Commercial Building



Landscaped Parking Lot



Rain Gardens:

Rain Gardens are a means for helping the environment by reducing stormwater runoff. A rain garden should be located in a strategic location so that it will be able to collect the stormwater runoff from impervious surfaces such as a roof, driveway, or sidewalk in order for the vegetation to store it, giving the stormwater time to be filtered and then absorbed by the soil. Native plants that can withstand excessive amounts of water should be used when planning a rain garden.

Chesapeake Biological Laboratory's Rain Garden:



ACCESSORY STRUCTURES

SHEDS & GARAGES

PERGOLAS

Introduction

Accessory structures are encouraged to use similar elements as the main structure on site. This includes the use of similar materials and colors, continuing the architectural style, and continuing the rhythm and proportion of the main structure.

A. SHEDS AND GARAGES

Zoning Ordinance Regulations (S.T.C. Z.O.)

South of Lore Road: Up to 250 square feet: Shall meet all Appearance Code criteria, except roof pitch and roof style. Greater than 250 square feet: Shall meet all Appearance Code criteria.

North of Lore Road: Up to 250 square feet: Shall meet all Appearance Code criteria except roof pitch and roof style. Greater than 250 square feet: Shall meet all Appearance Code criteria.

Guidelines

The Appearance Code Criteria require that sheds and garages shall meet the same criteria as primary buildings in terms of style, materials and roof pitch (exceptions noted in the regulations). Therefore, sheds and garages should be consistent with the primary structure by continuing the primary structure's design, scale, and use of materials and colors.

Examples of sheds that continue the primary structure's design elements:



Examples of detached garages that continue the primary structure's design elements:



B. PERGOLAS

Zoning Ordinance Regulations (S.T.C. Z.O.)

This architectural feature is not listed in the Solomons Town Center Zoning Ordinance Appearance Code. Refer to the guidelines below for guidance.

Guidelines

A pergola is an arbor formed of horizontal trelliswork supported on columns or posts, over which vines or plants are trained to grow.¹ A well designed pergola will add visual interest and improve the appearance of the property. This structure is generally rectangular, but it can also be square or round in shape. The lattice work on the top of a pergola can be a simple design or it can be more intricate with denser lattice and/or corner treatments.

A pergola can be attached to a building or it can be a freestanding structure that provides shelter and shade for an outdoor space. When a pergola is attached to a building it becomes an architectural extension of that building and should be properly integrated to relate to the building's overall design. The materials and colors should be compatible with the materials used for existing structures on the property. It is important for a pergola to be proportioned to be compatible with the height and width of the main building in order to achieve compatibility.



STREETSCAPE

STREETSCAPE DESIGN

STREET FURNITURE

LIGHTING

Introduction

The Solomons Town Center's character should be expressed within the street. The term 'streetscape' refers to all of the area between the building fronts on one side of the street to the building fronts, on the other side, or in the case of Solomons Island, the Riverwalk along the Patuxent River. Streetscape design features include the sidewalk, street furniture, lighting, and signage.

By having a streetscape with greater visual continuity it will help attract tourists and new businesses. The quality of the streetscape plays a vital role in Solomons' retail setting. The streetscape and adjacent buildings are the most significant overall elements in providing a dynamic visual setting. Streetscape design guidelines create spaces for neighborhood interaction and a greater sense of community pride.



¹ Dictionary.com, "pergola". <http://dictionary.reference.com/browse/pergola>.

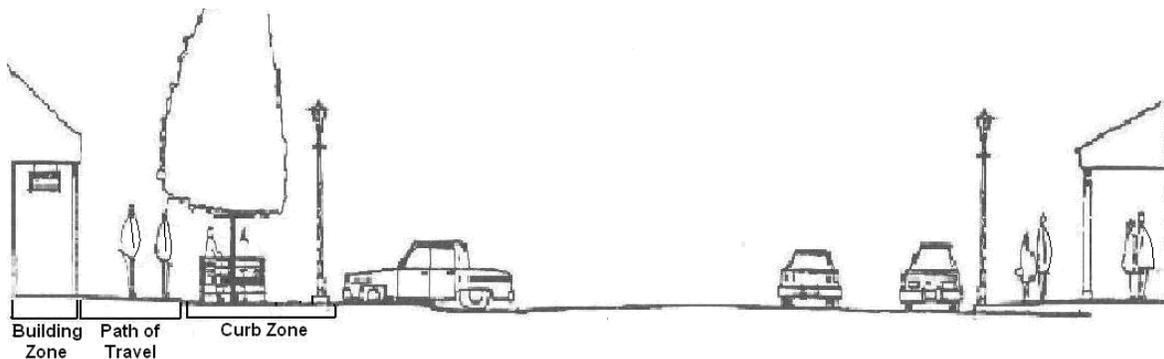
A. STREETSCAPE DESIGN

Zoning Ordinance Regulations (S.T.C. Z.O.)

Refer to Section 6-4 of the Solomons Town Center Zoning Ordinance.

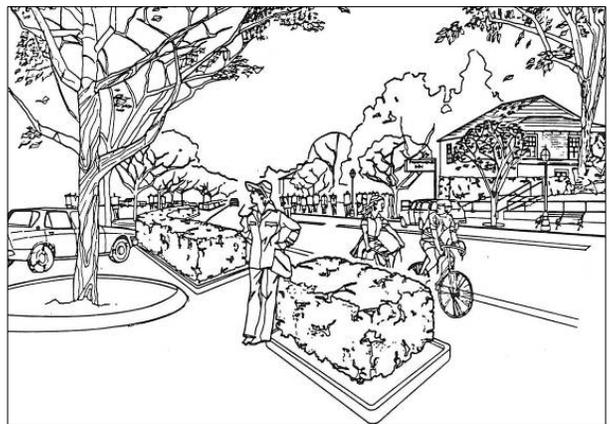
Guidelines

Streetscapes are defined by the streets and the architecture that enclose them. By developing the Solomons streetscape south of Lore Road, it will improve the arrival experience for residents and visitors coming onto the island. By continuing the streetscape design north of Lore Road, it will soften the edges and reduce any visual impacts commercial buildings may have. The Solomons Town Center Sidewalk Map shows the proposed sidewalk connecting Solomons Island to the Dowell peninsula (refer to Figure 4).



A well planned sidewalk is an essential element of a successful streetscape. A sidewalk should have three zones: the building zone, the path of travel, and the curb zone. Generally a clear path of travel is located down the center of the sidewalk, while the building zone is the area adjacent to the property line. The outer edge of the sidewalk is the curb zone, and this is where the street furniture can usually be found.¹

Part of enhancing the livability of Solomons is having attractive streets and sidewalks. By implementing berming and planting it can reduce the visual impacts of parking areas and act as a protective buffer between the road and pedestrians. Where applicable, parking is encouraged to be at the side or the rear of buildings, rather than in the front, so that cars and parking lots do not become the dominate features of the streetscape. Instead, it is desirable for building facades, public facilities, and sophisticated landscaping to be the focal points. The illustration to the right is an example of how vegetative buffers and trees can soften the appearance of parking lots.



¹ Schellinger, David and Priest, Sharon. "Getting Streetscape Design Right". <http://www.planning.org/planning/2006/streetscape.htm>. 06/08/2009.



Prepared by: The Department of Planning & Zoning.

Figure 4. SOLOMONS TOWN CENTER SIDEWALK MAP

B. STREET FURNITURE

Zoning Ordinance Regulations (S.T.C. Z.O.)

This architectural feature is not listed in the Solomons Town Center Zoning Ordinance Appearance Code. Refer to the guidelines below for guidance.

Guidelines

In order to make Solomons' streets more attractive and livable street furniture should be located in spaces based on function and necessity. Street furniture should be maintained in good condition in order to retain their purpose.

- Benches
- Litter Receptacles
- Planters
- Bike Racks

Benches:

Benches make a sidewalk pedestrian-friendly and encourage social interaction. Bench locations should not create unsafe obstacles for pedestrian traffic and should not obstruct building doorways. Plaques may be installed to the backs of benches to identify a specific neighborhood or to acknowledge local community leaders.

Benches are available in a variety of styles and materials. They can be made with arms and a back or can be simply a seat base. Depending on the desired look for the area, benches can be made of wood or metal. A wood bench gives the setting a traditional look while a metal bench provides a more contemporary look.



Riverwalk Bench

Litter Receptacles:

Together, the benches and litter receptacles, which are often located in close proximity to each other, should appear visually coordinated. Litter receptacles should be located in frequent intervals that make them convenient to use. Below is a photo of a litter receptacle located on the Solomons Riverwalk.



Planters:

The combined height of containers and plantings should not obstruct motorists' or pedestrians' views at street intersections or driveways. Planters should be large enough to provide enough soil to maintain the growing plants.

Bike Racks:

A major goal of the Solomons Town Center Master Plan is to promote alternative means of transportation, in order to alleviate automobile congestion. Because of the basically level terrain, and relatively small area, recreational travel by bicycle is an ideal option to driving. It is important to provide adequate bike racks throughout the Town Center so that people have convenient places to park and secure their bicycle rather than having to lock their bikes to street signs, light poles, or other objects located on the streetscape. Most bike racks have a modern style and are designed to be visually coordinated with other street furniture. The Solomons Town Center Map of Proposed Bikeway is shown in Figure 5. The photo below is an example of a bike rack located at the Solomons Comfort Station.





Prepared by: The Department of Planning & Zoning.

Figure 5. SOLOMONS TOWN CENTER PROPOSED BIKEWAY MAP

C. LIGHTING

Zoning Ordinance Regulations (S.T.C. Z.O.)

South of Lore Road: Shall be designed to be in harmony with the character of the building and its surrounding buildings and to meet pre-approved styles (see Design Manual).

North of Lore Road: Shall be designed to be in harmony with the character of the building and its surrounding buildings and to meet pre-approved styles (see Design Manual).

Refer to Section 6-6 of the Calvert County Zoning Ordinance which applies in the Solomons Town Center.

Guidelines

Lighting greatly influences the safety and sense of personal security within the Town Center. It also impacts the visual quality of an area. Outdoor lighting should be used in residential developments, commercial, industrial, public-recreational and institutional areas. Exterior lighting should not be competitive with the surrounding lighting. Exterior lighting fixtures should be designed to be in harmony with the character of the building and its surrounding buildings. Fixtures with efficient design and operation with regard to energy conservation are preferred.

Fully recessed downlights or wall washers in projecting metal boxes, which run the full length of the sign area, are appropriate, as are shielded fluorescent lamps with diffusers. Gooseneck incandescent, porcelain enamel reflectors on bent metal tube arms are also appropriate provided they meet the full-cutoff criteria in the County Zoning Ordinance.

Lighting fixtures should be maintained so as to meet the Outdoor Lighting Regulations of the Calvert County Zoning Ordinance Section 6-6.

Pedestrian Lighting:

A major element of the streetscape design is pedestrian lighting, because of its frequency and repetition along the street and sidewalks. Pedestrian lighting should provide a uniform distribution of light so that pedestrian safety is upheld. The light fixture and the posts should compliment and be in scale with the general architecture of the surrounding neighborhood.



Parking Lot Lighting:

Shoebox light fixtures meeting the IESNA full-cutoff criteria have flat lenses and are mounted at a 90 degree angle to the pole so that the fixture is aimed straight down. This design increases efficiency by only providing lighting where light is needed.



Wall Lights:

Wall lights can be an architectural element of a building. Therefore, wall lights should complement the building and be designed in styles, materials, and colors that are appropriate to the style of the building. These lights should be in scale with the building and should be full-cutoff, so the source of light is completely enclosed in the fixture to prevent any unwanted light from escaping.

Examples of full-cutoff wall lights:



Wall Pack Lighting:

Wall pack lighting should be full-cutoff so that the source of light is completely enclosed in the fixture. This type of outdoor lighting fixture helps to provide safety and security. The full-cutoff wall packs avoid shining light in neighboring windows or at passing motorists, and unnecessarily lighting up the sky.

Examples of full-cutoff wall pack lighting:



SIGNS

NORTH OF LORE ROAD SOUTH OF LORE ROAD

Introduction

“A good sign communicates its message clearly and quickly, is compatible with its surroundings, and enhances the visual image of the community.”¹

The purpose of design guidelines for signs is to eliminate confusing and distracting signs; assure the efficient transfer of information, and enhance the visual environment of the Town Center. Signs inform the public as to the nature of a business and can transmit a business’s image to a passerby. Signs are prominent visual elements of the streetscape in commercial areas. There is a need for controls on commercial signage to eliminate a great deal of visual clutter. Signs should play a secondary role to the property which the business is located.

Zoning Ordinance Regulations (S.T.C. Z.O.)

Refer to Section 6-8 of the Solomons Town Center Zoning Ordinance.

Guidelines

Before designing a sign, establish whether the property falls north or south of Lore Road.

The style, materials, color, and texture are the main composition of visual elements of the architecture in Solomons. Signs should augment and not compete with the surrounding architecture. At the same time, signs should be scaled to be in proportion to the building(s) to which they relate to.

Signs should:

- Blend with and not detract from the surrounding architecture and aesthetics of the Town Center.
- Be as simple as possible and avoid repetitive wording.
- Be limited to those absolutely necessary so that they do not overwhelm the architecture and decorative features of the building.
- Complement the adjacent buildings and help attract tourists, residents and businesses.
- Be creatively designed in styles, materials, colors, and lettering that is appropriate to the style of the building.

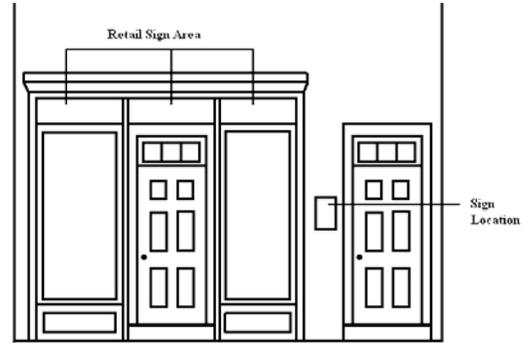


Inappropriate

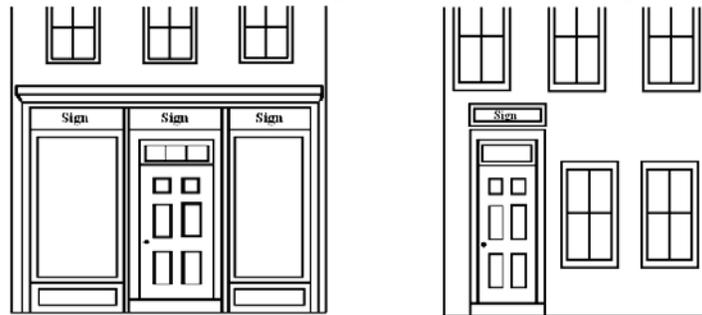
¹ Shelley S. Mastran and Edward T. McMahon. “Better Models for Development in Maryland: Ideas for Creating More Livable and Prosperous Communities”. *The Conservation Fund*. 2004.

Wall Signs:

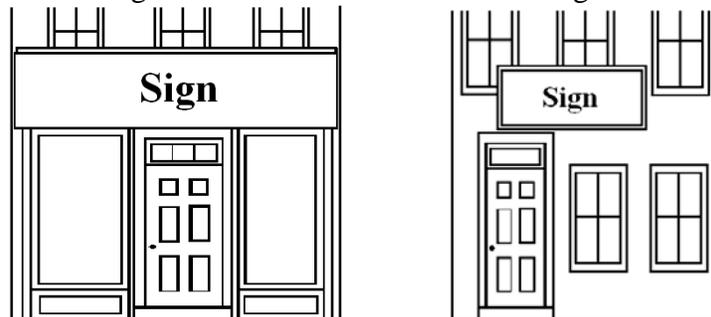
Wall signs include most types of signage that are attached to the face of a building wall. Wall signs should be oriented to have a balanced composition and be in harmony with other architectural elements of the building façade. Wall signs should be placed on a flat building surface and should not obscure architectural building features. A key part of a retailer's marketing is the image of the shop. External building signs tell people what the business is and what it does.



Encouraged: Examples of wall signs that are proportioned to the building and do not obscure any architectural building features:



Discouraged: Examples of wall signs that are *not* proportioned to the building and obscure architectural building features:



A. NORTH OF LORE ROAD

The area north of Lore Road includes land along MD Route 2/4 where most of the new commercial development has occurred because of its convenient transportation access. Signs in this area should be designed to be compatible with the building to which it is attached to or alongside.

Examples of compatible wall signs north of Lore Road:



Use of similar colors as building materials



Reflects Solomons' maritime history



Freestanding Signs:

Freestanding signs are typically used where building setbacks, orientation or design make it difficult to provide other types of signage, such as wall signs, that are plainly visible to people that are trying to identify a business or institution. They are typically oriented perpendicular to the adjacent street and sidewalk. These signs should be designed so that the style of the sign and its base are consistent with the architecture of the buildings on the site. Freestanding signs north of Lore Road usually have a solid base that the sign face is installed upon. One way to design a sign to be consistent with the building is by using the same or similar materials as the main structure for the base of the sign. Freestanding signs provide the opportunity for landscaping to enhance their appearance. A matte finish is used to significantly reduce any glare. It also gives the sign face a more traditional look by being clear and crisp.

The purpose of a freestanding sign is not only to make a business easy to find, but also to leave a memorable impression on all who see it. It should increase a business's exposure and strengthen the corporate identity with professional elegance. By using a wide range of materials, colors and creative design elements, a freestanding sign should promote a business by acting as a vital link in marketing efforts.

Encouraged: Examples of freestanding signs north of Lore Road that are compatible with the streetscape because they maintain the scale of adjacent signs.



Discouraged: Example of a freestanding sign that would disrupt the scale and rhythm of Solomons' streetscape.



B. SOUTH OF LORE ROAD

South of Lore Street, signs were designed to be read by pedestrians, and not by people driving past 30 miles an hour. Primarily a sign serves two functions: attract attention and convey information. In the Village Core, signs should be developed with the overall context of the building and historic architecture in mind, and in accordance with the county ordinance and regulations.

Signs associated with a historic building should not detract attention from the important design features of the building. Signs should be scaled to be in proportion with the facade of the building. A sign should be in character with the materials, color and detail of the building or site. Simple letter styles and graphic designs are encouraged. Awning signs are permitted south of Lore Road, provided the lettering is limited to one color. Logos may be incorporated into the sign.

APPENDIX A

PICTURE REFERENCE

- Calvert Marine Museum. *Paul L. Berry Reference Library*. 06/01/2009.
- Elitedeals. *Garden Buildings*. <http://www.elitedeals.com/garden.html>. 06/02/2009.
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- “Managing Your Stormwater”. City of Milwaukee, Office of Environmental Sustainability. 06/09/2009.
- Maryland Historical Trust. *Maryland Inventory of Historical Properties*.
http://mht.maryland.gov/Survey_MIHP_Search.html. 06/12/2009.
- Patuxent Architects, Inc. Prince Frederick, MD.
<http://www.patuxentarchitects.com/Commercial/Dry%20Dock/Dry%20Dock.htm>. 06/02/2009.
- Shelley S. Mastran and Edward T. McMahon. “Better Models for Development in Maryland: Ideas for Creating More Livable and Prosperous Communities”. *The Conservation Fund*. 2004.
- Skykeepers. http://www.skykeepers.org/good_fixtures/ca-wallscon.html. 06/12/2009.

APPENDIX B

ADDITIONAL RESOURCES & INFORMATION

For more information on the Solomons Town Center, Architectural Review Committee and/or Planning Commission, contact:

Department of Planning & Zoning

150 Main Street

Prince Frederick, MD 20678

(410) 535-1600, ext. 2356 or

(301) 855-1243, ext. 2356

Fax: (410) 414-3092

Email: pz@co.cal.md.us

Web: <http://www.co.cal.md.us/government/departments/planning/>

For building permits, contact:

Division of Inspections & Permits

150 Main Street

Prince Frederick, MD 20678

(410) 535-1600, ext. 2552 or

(301) 855-1243, ext. 2552

Fax: (410) 414-3283

Email: inspections.permits@co.cal.md.us

Web: <http://www.co.cal.md.us/government/departments/planning/inspections/>

For more information on the Calvert County Historic District Commission, contact:

Historic District Commission

150 Main Street

Prince Frederick, MD 20678

(410) 535-1600 ext. 2504 or

(301) 855-1243, ext 2504

Fax: (410) 414-3092

Web: <http://www.co.cal.md.us/business/planning/committees/historic/default.asp>

APPENDIX C

SOLOMONS TOWN CENTER ZONING ORDINANCE

TABLE 6-3 ARCHITECTURAL DESIGN CRITERIA¹

TABLE 6-3 ARCHITECTURAL DESIGN CRITERIA		
<p>The following Architectural Design Criteria shall be imposed on all buildings and accessory structures within the Solomons Town Center (excluding signs, which are subject to the criteria contained in Section 6-8 of this Ordinance). For additional details, see the Architectural Design Manual maintained by the Planning Commission.</p>		
ARCHITECTURAL FEATURE	SOUTH OF LORE ROAD	NORTH OF LORE ROAD
Style	Shall be late 19th/early 20th century (“Victorian Era”)	Shall be late 19th/early 20 th century; pre-20th century; modern interpretations of pre-20th century styles.
Building Materials	Siding shall be brick (in red-brown range), wood or wood appearance horizontal or board and batten siding with minimum 4” corner boards; wood or wood appearance shake or shingle siding. Shake or shake appearance siding may be used only as architectural detail.	Colors and tones shall be muted. Siding shall be brick (in red-brown range), wood or wood appearance horizontal or board and batten siding with minimum 4” corner boards. Also wood or wood appearance shingle or shake, stucco, and split-face block. Vertical metal may be approved for use on sides of buildings not visible from public roads or waterways, provided quality standards are met.
Pitched Roofs	Pitched roofs shall be wood, metal or asphalt shingles in gray or brown tones. Main roof pitch shall be: minimum 6/12 limited to gable, hipped, shed and true mansard. Gambrel and false mansard are not permitted. Dormer roofs are not subject to these requirements.	Pitched roofs shall be wood, metal or asphalt shingles in muted tones. The main roof pitch shall be a minimum 6/12 limited to gable, hipped, shed and true mansard. Exceptions for shopping centers and commercial buildings may be made, provided the design meets the intent as described above. Gambrel and false mansard are not permitted.

¹ Calvert County Department of Planning & Zoning. (2009). *Solomons Town Center Zoning Ordinance*. Prince Frederick, MD: Calvert County Government.

ARCHITECTURAL FEATURE	SOUTH OF LORE ROAD	NORTH OF LORE ROAD
Flat Roofs	Flat roofs may be permitted on large commercial buildings (5000 square feet or greater) if the roofs are green roofs that meet the criteria of Section 6-2.02.D.3.	Flat roofs may be permitted on shopping centers and large commercial buildings (5000 square feet or greater) if the roofs are green roofs that meet the criteria of Section 6-2.02.D.3.
Windows, Skylights, and Shutters	See the Architectural Design Manual for window design criteria. Skylights are permitted with no restrictions. Shutters, if used, shall be sized to fit the window if closed.	Window and shutter styles other than those contained in the Architectural Design Manual may be approved, provided they are compatible with the overall style of the building. Skylights are permitted with no Restrictions.
Solar Panels (roof-mounted and freestanding)	Solar panels are permitted with no restrictions.	Solar panels are permitted with no restrictions.
Fences, Screens, Garden Walls and Retaining Walls	Chain link and stockade fencing are not permitted. Design shall be in same style as building. Retaining walls should be constructed in a brick pattern.	Chain link and stockade are not permitted. Design shall be in same style of building.
Height, Proportion, Rhythm and Scale	See the Architectural Design Manual.	See the Architectural Design Manual.
Ornamentation & Columns	Wood or wood appearance.	No criteria.
Utilities and trash receptacles	Screened or positioned so that they are not visible from public roads, waterways and adjoining properties.	Screened or positioned so that they are not visible from public roads, waterways and adjoining properties.
Accessory Structures (e.g., Sheds, Gazebos & Garages)	Up to 250 square feet: Shall meet all Appearance Code criteria, except roof pitch and roof style. Greater than 250 square feet: Shall meet all Appearance Code criteria.	Up to 250 square feet: Shall meet all Appearance Code criteria except roof pitch and roof style. Greater than 250 square feet: Shall meet all Appearance Code criteria.

ARCHITECTURAL FEATURE	SOUTH OF LORE ROAD	NORTH OF LORE ROAD
Decks	Design shall be in the same style as the building.	Design shall be in the same style as the building.
Lighting	Shall be designed to be in harmony with the character of the building and its surrounding buildings and to meet preapproved styles (See Design Manual).	Shall be designed to be in harmony with the character of the building and its surrounding buildings and to meet pre approved styles (See Design Manual).

APPENDIX D

PRE-APPROVED DESIGN FEATURES

OUTDOOR LIGHTING FIXTURES

STREET FURNITURE

FENCES

BRICK PAVING PATTERNS

To assist property owners and builders, the Solomons Architectural Review Committee has recommended and the Planning Commission has approved the following structures and/or design features that comply with the Solomons Town Center Zoning Ordinance and the Solomons Town Center Architectural Design Manual. This list and illustrative photographs are not comprehensive of all acceptable designs. Other designs may comply with the guidelines and should be submitted to the Department of Planning & Zoning for architectural review. By selecting a pre-approved design feature, the owner is still required to submit the proper applications and paperwork to the Department of Planning & Zoning but does not need to have that element of the project reviewed by the Architectural Review Committee. This list of pre-approved structures and elements may be amended from time to time to incorporate additional structures and/or elements that have received approval by the Planning Commission after recommendation by the Solomons Architectural Review Committee. Details about manufactures/models of previously approved projects are available from the Department of Planning & Zoning upon request.

OUTDOOR LIGHTING FIXTURES

Pedestrian Lighting		
North of Lore Road		
	Color: Black Light Pole: 5" diameter fluted Height: Up to 9'	
Parking Lot Lighting		
	Light Fixture: Shoebox, Full-cutoff Color: Black or Bronze Finish Light Pole: Standard Pole (steel) Height: Up to 25'	
Wall Lights		
	Light Fixture: Full-cutoff Color: Copper Dimensions: 12" x 12 3/4"	

Down Lights		
	Light Fixture: Full-cutoff Mounting: Wall mount Materials: Die cast aluminum	
Wall Pack Lighting		
	Light Fixture: Full-cutoff Wall Pack Mounting: Direct Mount	

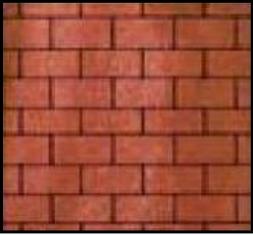
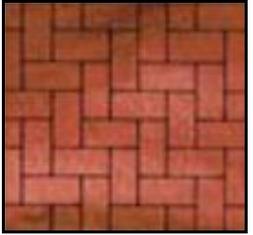
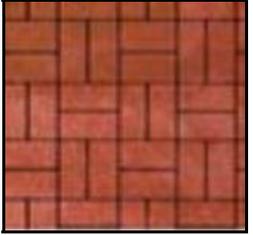
STREET FURNITURE

Benches		
	Length: 6' Materials: Ductile iron end frames; wood slats	
Litter Receptacles		
	Capacity: 24 gallon Color: Black Materials: Steel bars, interior plastic liner	
Bike Racks		
	Style: Grid Materials: Steel	

FENCES

Residential		
	<p>Style: Traditional Straight Pickets Color: White or natural wood finish Height: 48” Picket Spacing: 3” Materials: Vinyl or wood</p>	
	<p>Style: Privacy Fence with Closed Picket Accent Color: White or natural wood finish Height: 6’ Materials: Vinyl or wood</p>	
	<p>Style: French Gothic Spaced Picket Color: White or natural wood finish Height: 4’ Materials: Vinyl or wood</p>	
Commercial		
	<p>Style: 6” Picket Semi-Privacy Color: White or natural wood finish Height: Up to 6’ Materials: Vinyl or wood</p>	

BRICK PAVING PATTERNS

 <p>Running Bond</p>	 <p>Herringbone at 45°</p>	 <p>Herringbone at 90°</p>	 <p>Basket Weave</p>
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